



CERTIFICATE OF REVIEW

City of Cheyenne, WY

This Certificate is issued pursuant to Section 2.2.3 of the Unified Development Code. The owner/agent herein named has received approval based on the site plan, landscape plan, and associated documents (hereafter referred to as "Site Plan") submitted to the City of Cheyenne on December 11, 2024 for the below-described real property. This Certificate entitles the owner and/or agent to make an application for all relative permits subject to the conditions stated below. **A copy of this Certificate must be presented at the time of application for permits.**

OWNER: Nineteenth and Oneil LLC
312 Broadway Street
Sheridan, WY 82801

Andiamo307, LLC
6866 Buckskin Trail
Cheyenne, WY 82009

AGENT: AVI PC
1103 Old Town Lane #101
Cheyenne, WY 82009
avi@avipc.com

LEGAL: To be known as Lot 1, Block 1, Andiamo Subdivision, Cheyenne, Wyoming

ADDRESS: 1808 Oneil Avenue

ZONING: CBD Central Business District

PROPOSED USE: Multi-dwelling Building ("Apartment") – 100 units – West End Flats

CASE NUMBER: PUDC-24-151 (Site Plan) (Subdivision Standards Waiver)
PUDC-24-99 (Conditional Use)

SITE CONDITIONS:

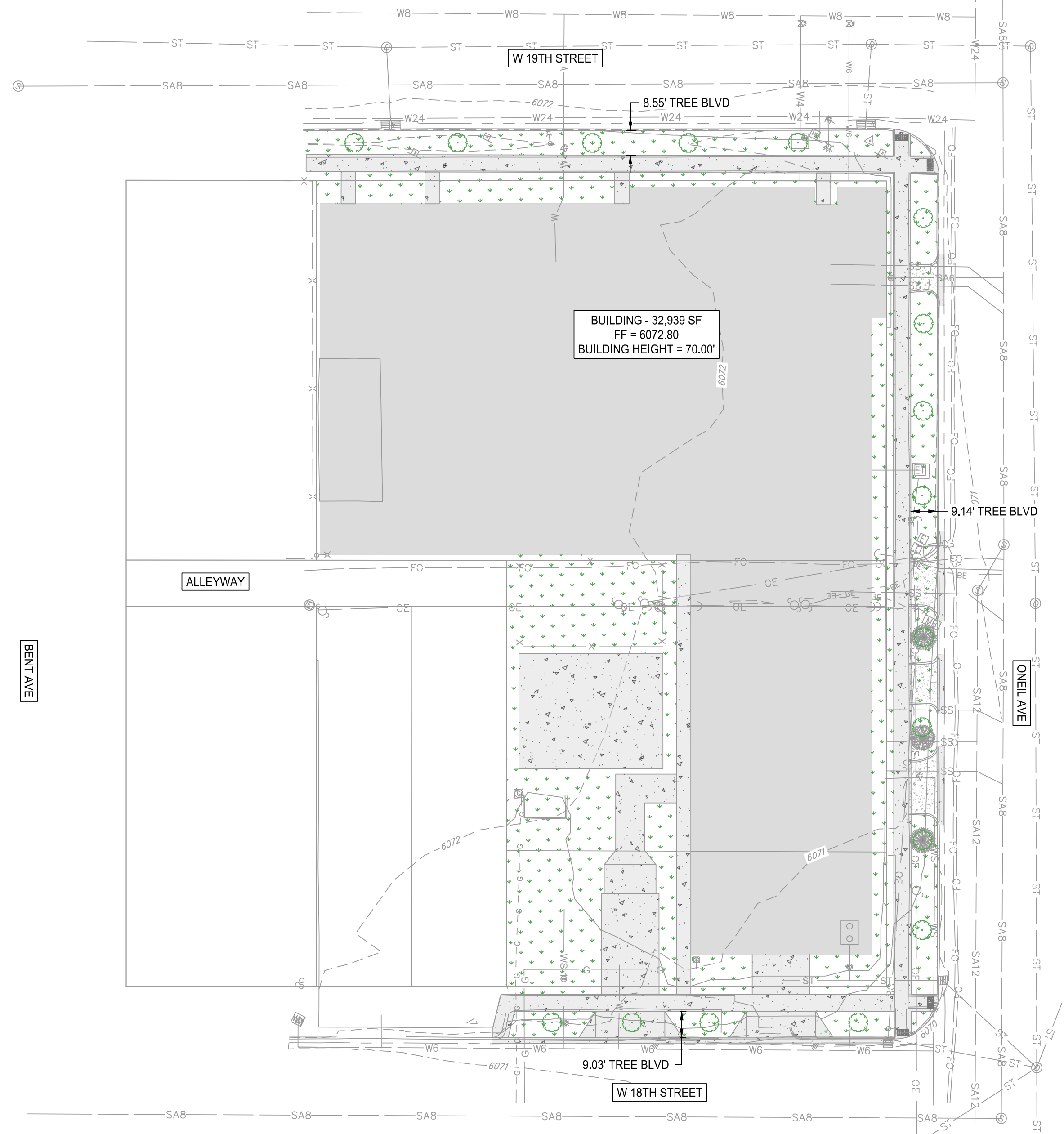
1. Andiamo Subdivision, 2nd Filing needs to be recorded prior to CO.
2. A Tree Planting permit is required from the City Forestry Department prior to planting trees in the right-of-way.
3. Engineering
 - a. City Construction Department (Greg Selin): Combine asphalt patches as noted on Oniel Av.
 - b. City Drainage Engineer (Wes Bay): The requirements for detaining the 10-year storm and WQCV have been waived for reasons stated in the waiver request submitted by the applicant dated 12/17/2024.


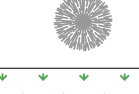
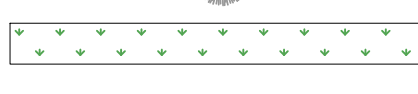
GENERAL CONDITIONS:

1. This Certificate of Review approval is based on the revised site plan, landscape plan, and associated documents noted above which, combined, are referred to as the Site Plan herein.

City of Cheyenne Planning and Development Department

Encl: Approved Site Plan
Subdivision Standards Waiver
Drainage Waiver Letter
Conditional Use – Multi-family



LEGEND
 DECIDUOUS TREE 
 EXISTING STREET TREE 
 NATIVE DRY LAND SEE MIX 
COMPUTATION TABLE
 PROPOSED STREET TREES (SPACED EVERY 40') = 17 TREES
 EXISTING STREET TREES TO BE REMOVED = 3 TREES

QTY.	ABBR	BOTANICAL NAME	COMMON NAME	PLANT	MATURE SIZE
LARGE DECIDUOUS TREES					
6	ANS	ACER NEGUNDO 'SENSATION'	SENSATION BOXELDER	1.5" cal.	20'H x 20'W
6	AMM	CELTIS OCCIDENTALIS L	HACKBERRY	1.5" cal.	20'H x 20'W
5	TA	TILIA AMERICANA	AMERICAN LINDEN	1.5" cal.	20'H x 20'W

PLANTING NOTES

- GENERAL:**
- THE LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION, ALL UTILITIES MUST BE CLEARLY MARKED. CALL 811 OR 1-800-849-2476
 - CONTRACTOR TO VERIFY ALL PLANT LOCATIONS AND QUANTITY BEFORE INSTALLATION IF DISCREPANCIES BETWEEN PLAN AND PLANTING SCHEDULE EXIST, PLAN TAKES PRECEDENCE OVER PLANTING SCHEDULE.
 - ANY FIELD ADJUSTMENTS TO PLANT LOCATIONS SHALL BE MADE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
 - CONTRACTOR TO REFERENCE CITY OF CHEYENNE URBAN FORESTRY PLANTING STANDARDS (SHEET LP2)

PLANTING:

- ALL TREES IN SODDED AREAS ARE TO BE PLANTED WITH SHREDDED CEDAR MULCH AT A DEPTH OF 3". NO WEED BARRIER FABRIC UNDER MULCH
- ALL PLANTING PITS ARE TO BE CLEARED OF ALL ROCK, SUB BASE MATERIAL, AND DEBRIS. AMENDED TOPSOIL TO BE INSTALLED WITHIN, PER DETAIL.
- ALL TREES TO BE BALLED & BURLAP
- PLANT SUBSTITUTION SHALL BE REQUESTED IN WRITING AND APPROVED PRIOR TO CONSTRUCTION BY OWNER

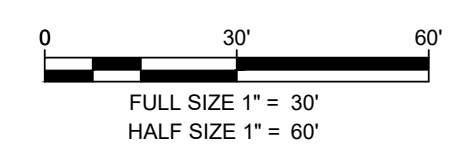
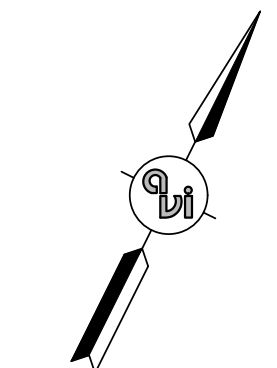
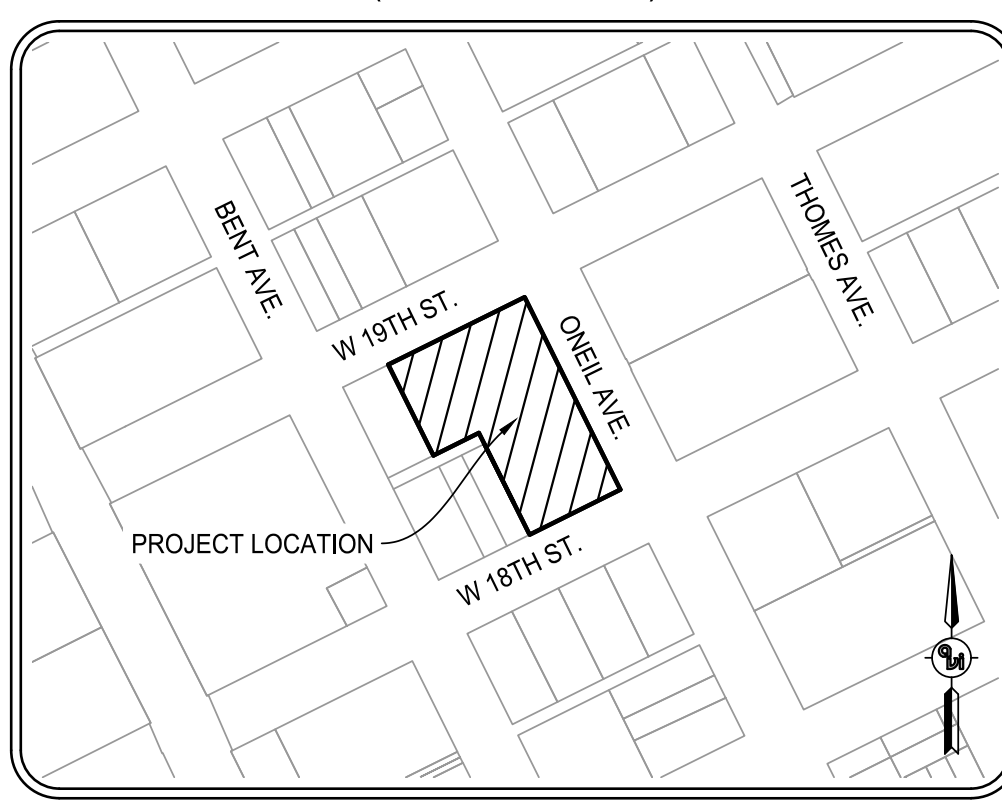
GROUND COVER/MULCHES:

- THE FINAL GRADE IN SODDED AREAS ARE TO BE 1" BELOW ANY PAVED SURFACE OR EDGING IN ORDER TO RETAIN SOD.
- THE FINAL GRADE IN ALL MULCHED AREAS ARE TO BE 3" BELOW ANY PAVED SURFACE OR EDGING IN ORDER TO RETAIN MULCH.
- ALL PLANTING BEDS SHALL BE INSTALLED WITH ROCK MULCH WITH WEED BARRIER FABRIC UNDERNEATH. DEPTH OF ROCK MULCH SHALL BE 3" MINIMUM & OBTAINED FROM A LOCAL SUPPLIER, OWNER TO APPROVE SAMPLE BEFORE INSTALLATION
- DRYLAND GRASS AREAS MUST FOLLOW MULCHING AND DRIP IRRIGATION GUIDELINES SET FORTH FOR TREES.

IRRIGATION

- ALL LANDSCAPE AREAS TO RECEIVE IRRIGATION BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM ALL TREES AND SHRUB BEDS TO BE DRIP IRRIGATED, ALL SOD TO BE IRRIGATED WITH SPRAY AND ROTOR HEADS.
- THE IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED BY THE LANDSCAPE CONTRACTOR. CONTRACTOR TO VERIFY LOCATION OF POINT OF CONNECTION, AND STATIC PRESSURE OF SYSTEM BEFORE INSTALLATION.

VICINITY MAP
(NOT TO SCALE)



**LANDSCAPE PLAN
 FOR PROPOSED
 WEST END FLATS**
 LOT 1, BLOCK 1 OF ANDIAMO SUBDIVISION, 2ND FILING
 BEING SITUATED IN A PORTION OF THE SW 1/4 SECTION 31, T14N,
 R66W; THE 6TH PRINCIPAL MERIDIAN,
 CHEYENNE, WYOMING
 PREPARED DECEMBER 2024

NO.	REVISION	DATE

PREPARED FOR:
STENCIL GROUP
 PO BOX 89624
 SIOUX FALLS, SD 57109

PROJECT:
WEST END FLATS

DRAWING TITLE:
LANDSCAPE PLAN



307.637.6017
 1103 OLD TOWN LANE, SUITE 101
 CHEYENNE, WY 82009
 AVI@AVIPC.COM

DATE PLOTTED:
 Dec 11, 2024

DRAWN BY: **BC**

DESIGNED BY: **BC**

CHECKED BY: **BE/MC**

JOB NO.: **4875**

DWG NO. **LP** OF

Guidelines and Best Practices for Tree Planting in Cheyenne (1)

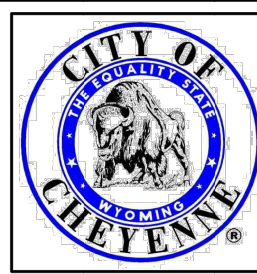
Street Trees: Those trees required along streets, can be in conjunction with detached or attached sidewalks.

- Tree Type:** Canopy shade trees shall be planted unless overhead utilities exist then deciduous ornamental trees shall be planted.
Shade trees recommended for Cheyenne, include the following:
 Statestreet Maple
 Sensation Boxelder
 Norway Maple (Deborah, Emerald Lustre, Emerald Queen)
 Ohio Buckeye
 Honeylocust (Imperial, Northern Acclaim, Shademaster, Skyline)
 Hackberry
 Cottonwood (lanceleaf, Sargent Straight)
 Bur Oak
 Glenleven Linden
 American Linden (Frontyard, Legend, Sentry)
 Littleleaf Linden (Greenspire, Harvest Gold)
 American Elm (Prairie Expedition, Princeton)
 Asian Elm (Accolade, Discovery, New Horizon, Triumph)
- Tree spacing**
 - 25-40 ft. for shade trees
 - 20-30 ft. for ornamental trees (only allowed where overhead utilities are present)
 - City Forester can adjust for special situations
- Planting location**
 - detached sidewalks- tree shall be planted in center of tree lawn
 - attached sidewalks- trees shall be planted 2.5 to 6 ft. behind sidewalk (4-6' preferred)
- Minimum tree size**
 - Canopy shade trees: 1.5-2.0 in. caliper measured at 6 in. above ground
 - Ornamental trees: 1.5 in. caliper measured at 6 in. above ground
- Tree species diversity** shall meet the following guidelines:
 Total number of trees on site (internal and street trees) Maximum percentage of any one species

10-19	50%
20-39	33%
40-59	25%
60 or more	15%
- City Forestry Permit**
 - A permit from Cheyenne Urban Forestry Division (637-6428) is required prior to planting in the City right-of-way.



Know what's below.
Call before you dig.
DRAWN BY: JV
DATE: 01-05-21



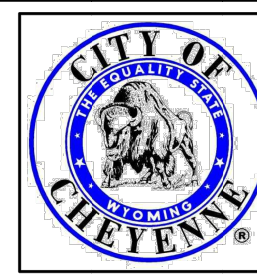
CITY OF CHEYENNE
 URBAN FORESTRY
 520 W. 8TH AVENUE
 CHEYENNE, WYOMING 82001
 (307) 637-6428

Guidelines and Best Practices for Tree Planting in Cheyenne (2)

- Tree Planting**
 - The planting hole width should be at least 2.5 times the width of the root ball.
 - Remove any bamboo that was tied to the tree from the nursery.
 - For balled and burlapped trees, the entire wire basket, any twine and the top two-thirds of the burlap must be removed.
 - For potted or fabric bagged trees, cut any circling roots to prevent roots from circling in the planting hole, consider using the box cut method.
 - The root ball should sit on undisturbed soil to prevent the tree from settling.
 - The root flare (transition zone between stem and roots) should be just above grade, if root flare is not visible, soil should be removed from top of root ball until the root flare is visible.
 - Do not amend the soil within the tree planting hole unless the entire tree lawn area is to be amended.
 - Water in the tree by applying water to the root ball and backfilled area during planting.
 - Stake the tree to prevent it from blowing over by using 2 wooden posts driven into undisturbed soil at opposite sides of the stem and securing the tree using wire and nylon straps or arborvitae type material. Be sure to allow some movement of the stem in the wind.
 - Remove all staking material within 1-2 years after planting.
- Irrigation system**
 - An automatic irrigation system shall be installed to irrigate all plants based on their watering needs.
 - Seeded native grass areas may be exempt from having permanent irrigation.
 - Trees within the downtown may be exempt from permanent irrigation.
 - In areas without sprinkler irrigation, drip irrigation shall be installed.
 - All drip irrigation should be placed on top of the root ball.
 - Trees planned for drip irrigation should have emitters or bubblers placed on opposite sides of the stem or drip tubing rings (preferred) and spread evenly around the root ball. Emitters/bubblers should be selected to generally apply water at a rate of one gallon or less per hour but should be based on soil type and grade.
 - Each tree should be watered twice per week at a rate of 20 gallons per watering during the growing season and once per month at a rate of 20-30 gallons during the dormant season.
 - Irrigation rates shall be increased as the tree grows and shall equal 10 gallons per inch of stem caliper. Therefore, a 3 inch caliper tree shall receive 30 gallons of water.
 - Hand watering will be necessary during the dormant season to keep trees alive.
 - Shrubs, perennials and ornamental grasses should be provided emitters/bubblers spread across the root ball and should be watered twice per week at a rate of 5-10 gallons per watering.
- Mulching**
 - Trees in seeded or turf grass areas shall have wood fiber, chip or bark mulch rings of at least 4 ft. in diameter to a depth of 3 inches. Wood fiber/chip/bark mulch rings should be replenished every 2 years and any grass or weed encroachment should be eliminated to ensure 4 ft. mulch rings are maintained.



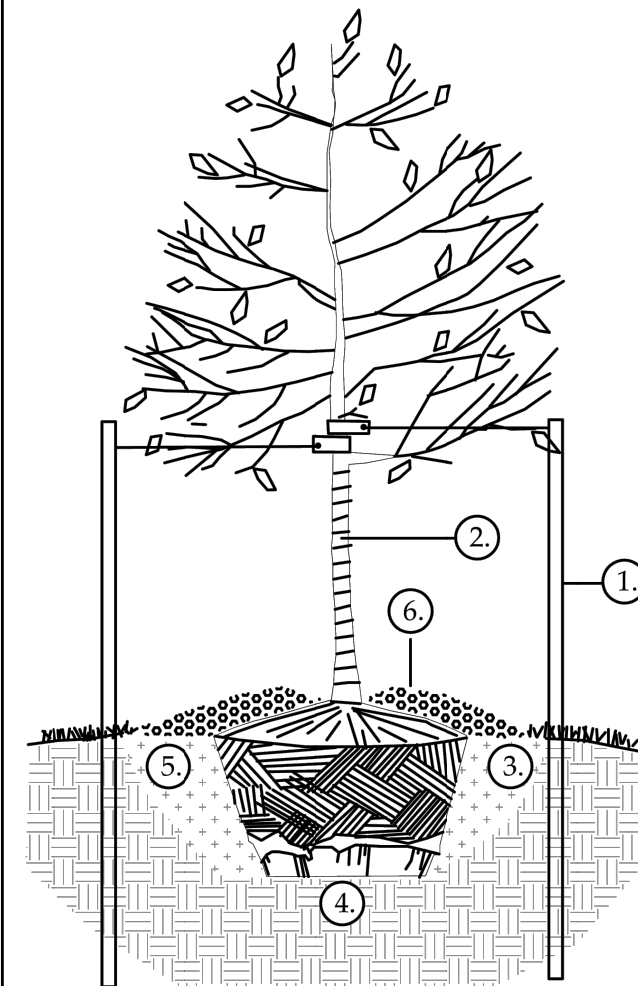
Know what's below.
Call before you dig.
DRAWN BY: JV
DATE: 01-05-21



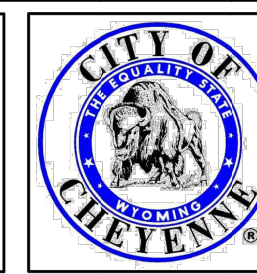
CITY OF CHEYENNE
 URBAN FORESTRY
 520 W. 8TH AVENUE
 CHEYENNE, WYOMING 82001
 (307) 637-6428

DECIDUOUS TREES NTS

- ALL TREES PLANTED WITHIN THE RIGHT-OF-WAY SHOULD BE MINIMUM 1.5-2 INCH CALIPER.
- TO PROTECT FROM WINDY CONDITIONS, STAKE TREE USING 2 EACH, 2" DIAMETER WOODEN POSTS WITH NYLON WEBBING OR WIRE AND NYLON STRAPS. ALLOW FOR SOME MOVEMENT OF THE STEM. SET POSTS VERTICALLY PLUMB JUST OUTSIDE THE PLANTING HOLE. PROMPTLY REMOVE ALL STAKING MATERIAL AFTER TREE HAS ROOTED AND CAN STAND ON ITS OWN.
- WRAP TREES TO FIRST BRANCH IN THE FALL. IF PLANTED IN SPRING, DO NOT WRAP.
- DIG PLANTING HOLE AT LEAST 2.5 TIMES THE WIDTH OF THE ROOT BALL. LOOSEN SOIL. DIG AND TURN SOIL TO REDUCE COMPACTION TO THE AREA AND TO THE DEPTH SHOWN. SET TREE ON UNDISTURBED SUBGRADE.
- FIND THE ROOT FLARE, IF NOT VISIBLE REMOVE SOIL FROM THE TOP OF THE ROOT BALL. LOCATE THE BOTTOM OF THE ROOT FLARE 0"-2" ABOVE LOWEST ADJACENT GRADE (DEPENDING ON SOIL TYPE). REMOVE THE ENTIRE WIRE BASKET, ALL TWINE AND THE TOP TWO-THIRDS OF THE BURLAP. CUT ALL CIRCLING ROOTS TO ELIMINATE GIRDLING AND TO ENCOURAGE ROOTING INTO ADJACENT SOIL.
- BACKFILL AROUND THE ROOT BALL AND STRAIGHTEN UP THE TREE, DO NOT AMEND THE SOIL. WATER THE ROOT BALL AND BACKFILLED SOIL AND GENTLY COMPRESS THE SOIL AROUND THE ROOT BALL. DO NOT PLACE SOIL ON TOP OF THE ROOT BALL.
- PROVIDE WOOD MULCH (3" DEPTH), MIN. 48" DIA. MULCH RING IN TURF AND NATIVE GRASS AREAS. ROCK MULCH IS ALLOWED IN LANDSCAPED BEDS. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.



Know what's below.
Call before you dig.
DRAWN BY: JV
DATE: 01-05-21



CITY OF CHEYENNE
 URBAN FORESTRY
 520 W. 8TH AVENUE
 CHEYENNE, WYOMING 82001
 (307) 637-6428

STAKING DETAIL

EVERGREEN TREES NTS

- EVERGREENS ARE NOT ALLOWED TO BE PLANTED WITHIN THE RIGHT-OF-WAY.
- TO PROTECT FROM WINDY CONDITIONS, STAKE TREE USING 3 EACH, 2" DIAMETER WOODEN POSTS WITH NYLON WEBBING OR WIRE AND NYLON STRAPS. ALLOW FOR SOME MOVEMENT OF THE STEM. SET POSTS VERTICALLY PLUMB JUST OUTSIDE THE PLANTING HOLE. PROMPTLY REMOVE ALL STAKING MATERIAL AFTER TREE HAS ROOTED AND CAN STAND ON ITS OWN.
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DATE: 01-05-21

CITY OF CHEYENNE
 URBAN FORESTRY
 520 W. 8TH AVENUE
 CHEYENNE, WYOMING 82001
 (307) 637-6428

DETACHED SIDEWALK - TREE PLANTING NTS

ATTACHED SIDEWALK - TREE PLANTING NTS

- A PERMIT (FREE OF CHARGE) FROM THE CHEYENNE URBAN FORESTRY DIVISION (637-6428) IS REQUIRED PRIOR TO PLANTING IN THE PUBLIC RIGHT-OF-WAY.
- SHADE TREES SHOULD BE SPACED BETWEEN 25-40 FEET APART.
- ORNAMENTAL TREES (USE ONLY WHEN OVERHEAD UTILITIES ARE PRESENT) SHOULD BE SPACED 20-30 FEET APART.
- EVERGREEN TREES ARE NOT ALLOWED TO BE PLANTED WITHIN THE RIGHT-OF-WAY.

Know what's below.
Call before you dig.
DRAWN BY: JV
DATE: 01-05-21

CITY OF CHEYENNE
 URBAN FORESTRY
 520 W. 8TH AVENUE
 CHEYENNE, WYOMING 82001
 (307) 637-6428

DATE	REVISION	NO.

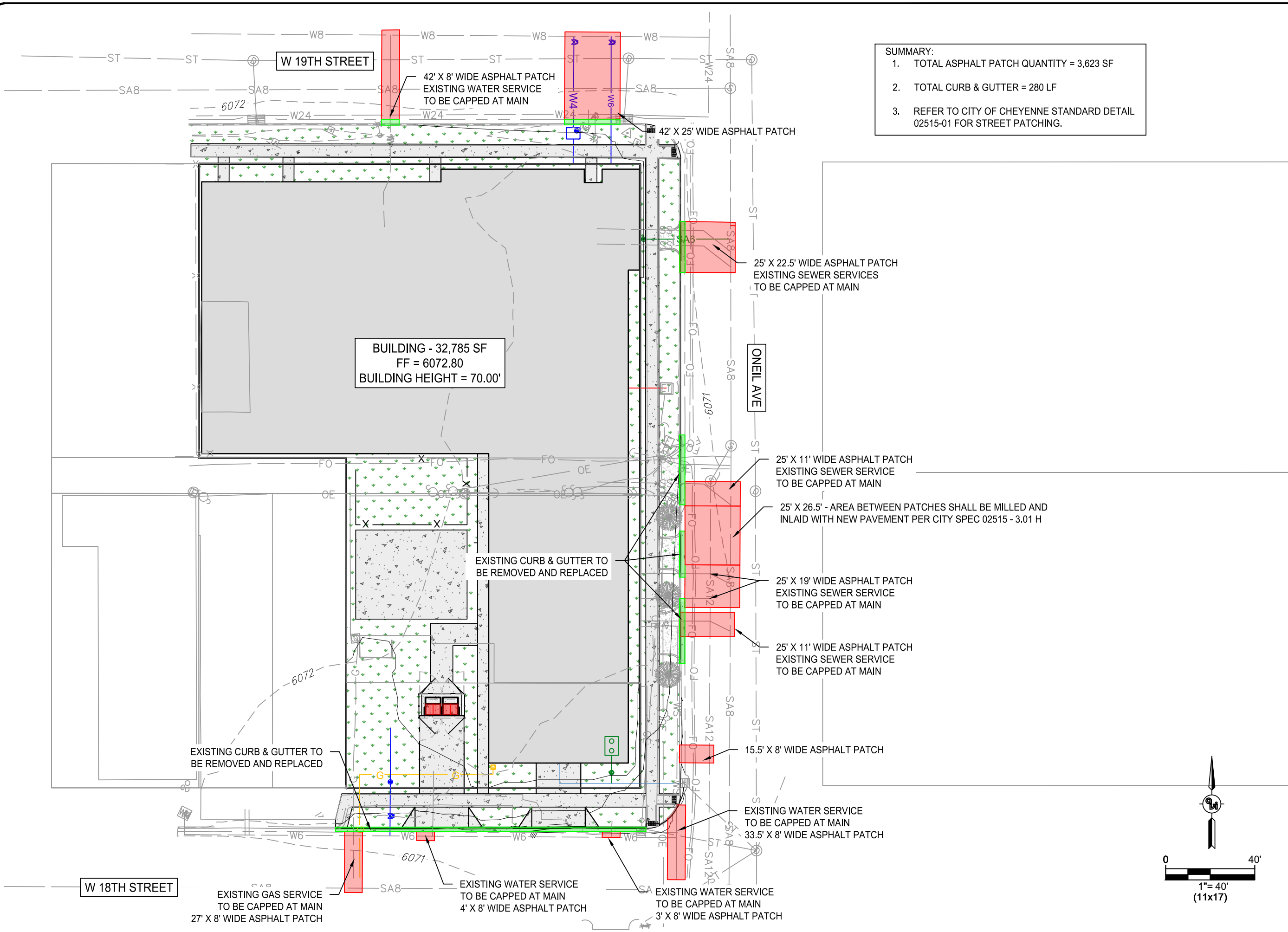
PREPARED FOR:
STENCIL GROUP
 PO BOX 89624
 SIOUX FALLS, SD 57109

PROJECT: **WEST END FLATS**
 DRAWING TITLE: **LANDSCAPE PLAN**



DATE PLOTTED: **Dec 11, 2024**
 DRAWN BY: **BC**
 DESIGNED BY: **BC**
 CHECKED BY: **BE/MC**
 JOB NO.: **4785**

DWG NO. **LP2** OF



SUMMARY:

- TOTAL ASPHALT PATCH QUANTITY = 3,623 SF
- TOTAL CURB & GUTTER = 280 LF
- REFER TO CITY OF CHEYENNE STANDARD DETAIL 02515-01 FOR STREET PATCHING.

NO.	REVISION	DATE

100% PLANS
 REVIEW SET
 NOT FOR CONSTRUCTION

PREPARED FOR:
STENCIL GROUP
 PO BOX 89624
 SIOUX FALLS, SD 57109

PROJECT:
WEST END FLATS

DRAWING TITLE:
DEMO & ASPHALT PATCHING

ENGINEERING · PLANNING · SURVEYING

307.637.6017
 1103 OLD TOWN LANE, SUITE 101
 CHEYENNE, WY 82009
 AVI@AVIPC.COM

DATE PLOTTED:
 Dec 11, 2024

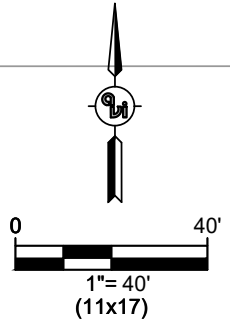
DRAWN BY: CP

DESIGNED BY: BC

CHECKED BY: BC

JOB NO.: 4875

DWG NO. AP OF



Downtown Cheyenne Apartments

Cheyenne, Wyoming



ARCHITECTURAL BID PACKAGE	ISSUE DATE	STRUCTURAL BID PACKAGE	ISSUE DATE
A1.0 TITLE SHEET / DRAWING INDEX	11/15/24	S0.0A GENERAL STRUCTURAL NOTES AND SCHEDULES	11/15/24
A2.0 CODE ANALYSIS, BUILDING DATA, WALL/FLOOR/CEILING TYPES, GENERAL NOTES	11/15/24	S0.0B STRUCTURAL SCHEDULES	11/15/24
		S0.0C WOOD WALL SCHEDULE	11/15/24
A3.1 FIRST FLOOR PLAN	11/15/24	S0.0D PRECAST LOADING PLAN	11/15/24
A3.2 SECOND FLOOR PLAN	11/15/24	S1.1 FOUNDATION PLAN	11/15/24
A3.3 THIRD/FOURTH FLOOR PLAN	11/15/24	S2.1 SECOND FLOOR FRAMING PLAN	11/15/24
A3.4 FIFTH FLOOR PLAN	11/15/24	S3.1 THIRD FLOOR FRAMING PLAN	11/15/24
A3.5 ROOF PLAN	11/15/24	S4.1 FOURTH FLOOR FRAMING PLAN	11/15/24
A4.0 UNIT PLANS	11/15/24	S5.1 FIFTH FLOOR FRAMING PLAN	11/15/24
A5.0 EXTERIOR ELEVATIONS	11/15/24	S6.1 ROOF FRAMING PLAN	11/15/24
A5.1 EXTERIOR ELEVATIONS	11/15/24	S7.1 FOUNDATION DETAILS	11/15/24
A6.0 DOOR/FRAME/FINISH SCHEDULE, DOOR/WINDOW ELEVATIONS	11/15/24	S8.1 PRECAST DETAILS	11/15/24
A7.0 WALL SECTIONS	11/15/24	S8.2 PRECAST DETAILS	11/15/24
A7.1 WALL SECTIONS	11/15/24	S9.1 WOOD FRAMING DETAILS	11/15/24
A8.0 WALL DETAILS	11/15/24	S9.2 WOOD FRAMING DETAILS	11/15/24
A9.0 ENLARGED STAIR PLANS	11/15/24	S9.3 WOOD FRAMING DETAILS	11/15/24
A10.0 INTERIOR ELEVATIONS	11/15/24	S9.4 BALCONY DETAILS	11/15/24
LS01 FIRST FLOOR LIFE SAFETY PLAN	11/15/24	S10.1 ROOF FRAMING DETAILS	11/15/24
LS02 SECOND FLOOR LIFE SAFETY PLAN	11/15/24	S11.1 ELEVATOR SHAFT DETAILS	11/15/24
LS03 THIRD/FOURTH FLOOR LIFE SAFETY PLAN	11/15/24		
LS04 FIFTH FLOOR LIFE SAFETY PLAN	11/15/24		
R3.1 FIRST FLOOR REFLECTED CEILING PLAN	11/15/24		
R3.2 SECOND FLOOR REFLECTED CEILING PLAN	11/15/24		
R3.3 THIRD/FOURTH FLOOR REFLECTED CEILING PLAN	11/15/24		
R3.4 FIFTH FLOOR REFLECTED CEILING PLAN	11/15/24		

BID SET
11/15/24

Revisions:
NOT FOR
CONSTRUCTION

Owner:
The Stencil Group
332 Minnesota Street,
Suite W120,
St Paul, MN 55101

Consultants:

Structural:
NRA
Nelson Rudie and Associates

Structural - Mechanical -
Electrical Consulting Engineers
9100 49th Ave North
Minneapolis, MN 55428
Tel: (763) 367-7600
Fax: (763) 367-7601

Mechanical / Electrical
/ Fire Protection
Design Build

Downtown Cheyenne Apartments
Cheyenne, Wyoming

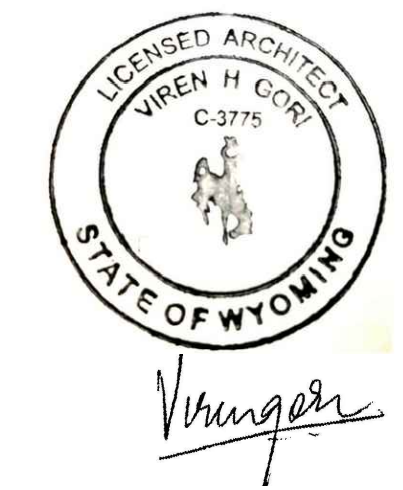
I hereby certify that this plan,
specification and contract form
prepared by me or under my
direct supervision and that I am
an architect under the laws of the
state of Wyoming.
Name: *Vincent Gori*
Signature: *Vincent Gori*
Date: 11/15/24
MN Reg. No.:
45208
WY Reg. No.:
15-0275

Architect:
GORI & ASSOCIATES
4633 1st Avenue South
Minneapolis, MN 55419

SCALE: AS SHOWN
DRAWN BY: SG
CHECKED BY: VG

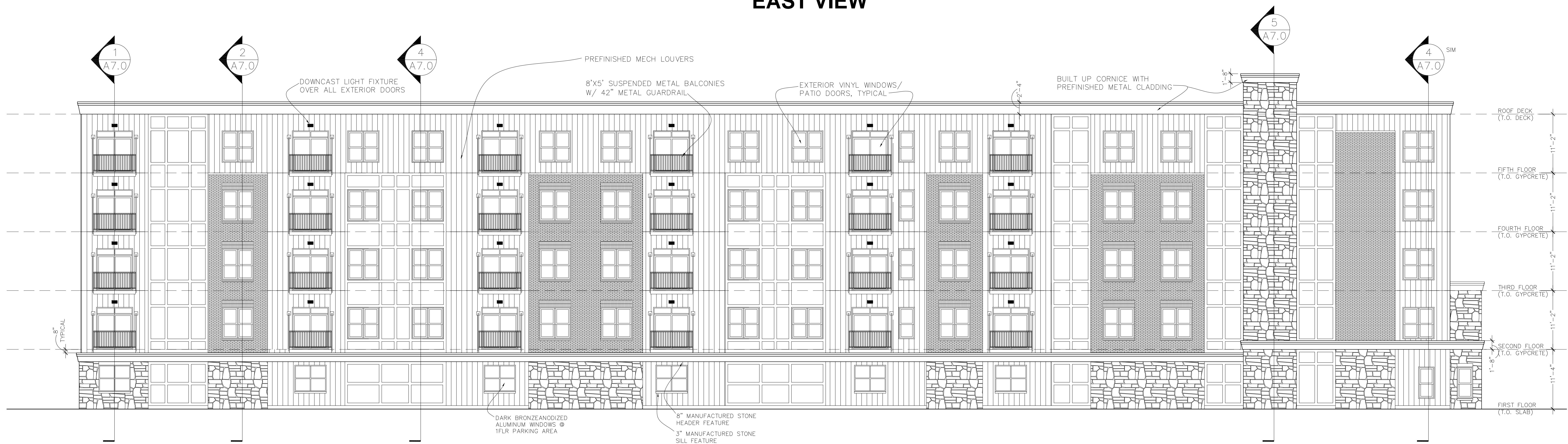
Title Sheet/ Drawing Index

A 1.0
PROJECT #: 2024-02



Revisions:

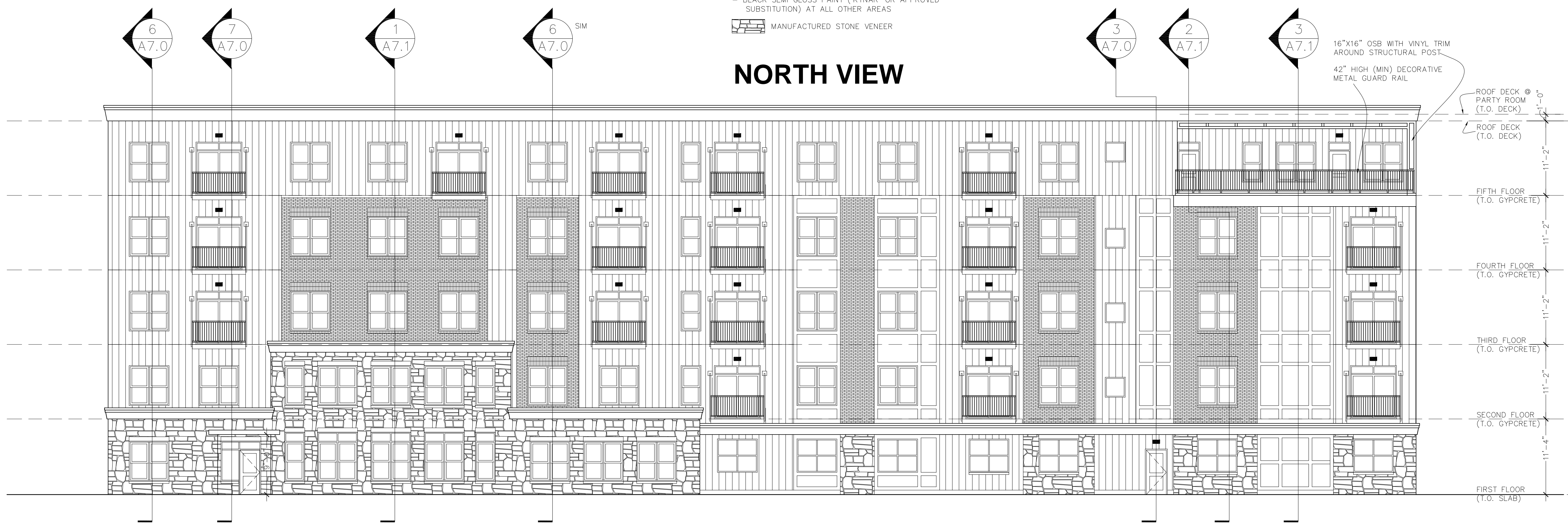
EAST VIEW



- FINISH LEGEND**
- RAISED VERTICAL METAL PANEL SIDING
 - CEMENT BOARD PANEL SIDING, FIELD PAINT OR PREFINISHED
 - BRICK VENEER SOLDIER COURSE AND SILL
 - PREFINISHED METAL TRIM, CAP, PARAPET CORNICE, 2FLR CORNICE, BALCONIES AND RAILING
 - BLACK POWDER COATING AT RAILINGS
 - BLACK SEMI GLOSS PAINT ('KYNAR' OR APPROVED SUBSTITUTION) AT ALL OTHER AREAS
 - MANUFACTURED STONE VENEER

1
A5.0 EXTERIOR ELEVATIONS
1/8" = 1'-0"

NORTH VIEW



2
A5.0 EXTERIOR ELEVATIONS
FOR ADDITIONAL NOTES/
DIMS. SEE 1/A5.0
1/8" = 1'-0"



Owner:
The Stencil Group
332 Minnesota Street,
Suite W120,
St Paul, MN 55101

Consultants:
Structural:

NRA
Nelson Rüdte and Associates
Structural - Mechanical -
Electrical Consulting Engineers
9100 49th Ave North
Minneapolis, MN 55428
Tel: (763) 367-7600
Fax: (763) 367-7601

**Mechanical / Electrical
/ Fire Protection
Design Build**

Downtown Cheyenne Apartments
Cheyenne, Wyoming

I hereby certify that this plan,
specification, or contract was
prepared by me or under my
direct supervision and that I am
an architect under the laws of the
State of Wyoming.
Name: Wren Gori
Signature: *Wren Gori*
Date: 02/14/25
MN Reg No.
42508
PE 4793
Exp. 02/14/25

Architect:
GORI & ASSOCIATES
4633 1st Avenue South
Minneapolis, MN 55419

SCALE: AS SHOWN
DRAWN BY: SG
CHECKED BY: VG

Exterior Elevations
A 5.0
PROJECT #: 2023-04

Revisions:

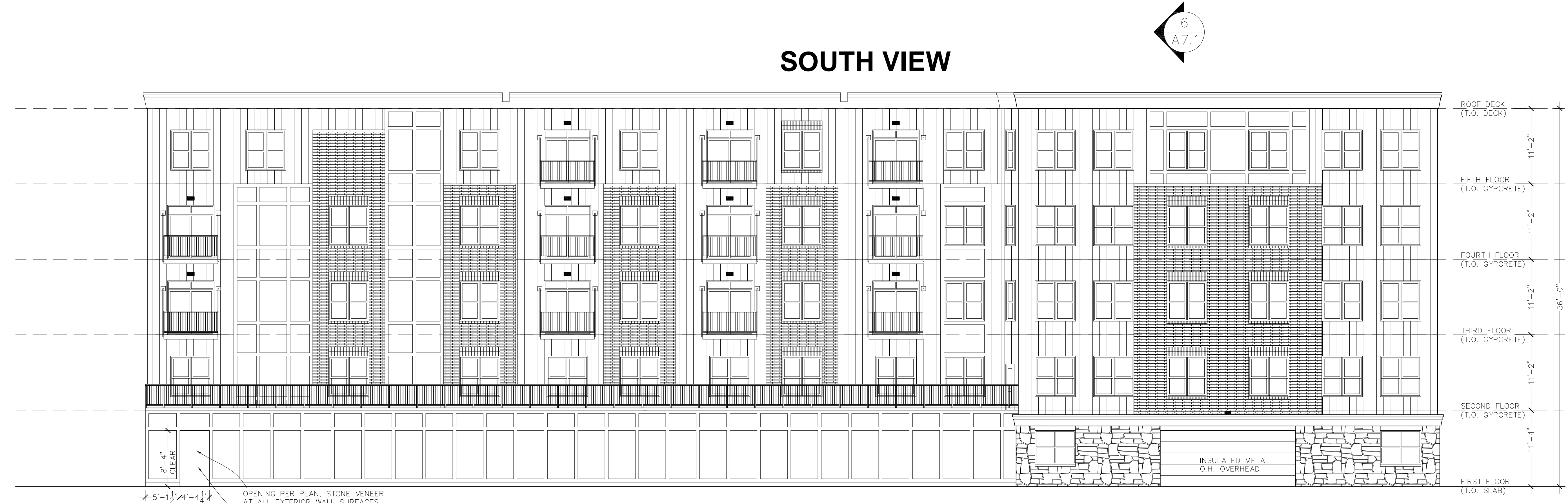
WEST VIEW



1
A5.1 EXTERIOR ELEVATIONS
FOR ADDITIONAL NOTES/
DIMS, SEE 1/A5.0 1/8" = 1'-0"

- FINISH LEGEND**
- RAISED VERTICAL METAL PANEL SIDING
 - CEMENT BOARD PANEL SIDING, FIELD PAINT OR PREFINISHED
 - BRICK VENEER SOLDIER COURSE AND SILL
 - PREFINISHED METAL TRIM, CAP, PARAPET CORNICE, 2FLR CORNICE, BALCONIES AND RAILING:
 - BLACK POWDER COATING AT RAILINGS
 - BLACK SEMI GLOSS PAINT ("KYNAR" OR APPROVED SUBSTITUTION) AT ALL OTHER AREAS
 - MANUFACTURED STONE VENEER

SOUTH VIEW



3
A5.1 EXTERIOR ELEVATIONS
FOR ADDITIONAL NOTES/
DIMS, SEE 1/A5.0 1/8" = 1'-0"

8'-4" CLEAR
OPENING PER PLAN, STONE VENEER AT ALL EXTERIOR WALL SURFACES.
GYPC SHEATHING/EXTERIOR PAINT @ INTERIOR OF STAIR WALLS

INSULATED METAL O.H. OVERHEAD



Owner:
The Stencil Group
332 Minnesota Street,
Suite W120,
St Paul, MN 55101

Consultants:
Structural:
NRA
Nelson Rüdte and Associates
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Mechanical / Electrical / Fire Protection
Design Build

Downtown Cheyenne Apartments
Cheyenne, Wyoming

I hereby certify that this plan, specification and contract documents were prepared by me or under my direct supervision and that I am a duly licensed professional architect under the laws of the State of Wyoming.

Name: Wren Gori
Signature: *Wren Gori*
Date: 02/14/25

MIN Reg No: C-3775
EX-0208
PC-0775

Architect:
GORI & ASSOCIATES
4633 1st Avenue South
Minneapolis, MN 55419

SCALE: AS SHOWN
DRAWN BY: SG
CHECKED BY: VG

Exterior Elevations
A 5.1
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